

MINUTES
PLANNING AND ZONING COMMISSION MEETING
January 6, 2016

CALL TO ORDER – Roll Call and Determination of a Quorum

The Planning and Zoning Commission met on the above date. Chairperson Wright called the meeting to order at 7:00 p.m.

Commissioners Present:

- | | |
|------------------------|-------------------------|
| ✓ Chairperson Wright | ✓ Alternate Cassavechia |
| ✓ Commissioner Lozano | ✓ Alternate Leamy |
| ✓ Commissioner Jeang | ✓ Alternate Douglas |
| ✓ Commissioner Raney | |
| ✓ Commissioner Sutaria | |

Staff/Others Present:

- | | |
|-------------------------------|--------------------------|
| ✓ City Administrator Flanigan | ✓ City Attorney Shepherd |
| ✓ City Secretary Scott Grey | |

PLEDGE OF ALLEGIANCE

The pledges were recited.

PUBLIC COMMENTS The Commission invites any person with business before the Commission to speak to the Commission. No formal action may be taken on these items at this meeting. Please keep comments to 3 minutes.

No comments.

INDIVIDUAL CONSIDERATION ITEMS

1. CONSIDERATION AND/OR ANY APPROPRIATE ACTION MEETING MINUTES FOR DECEMBER 10, 2015.

MOTION: Commissioner Jeang moved to approve the minutes with the correction that Planning and Zoning (P&Z) Commissioner Alternate JR Douglas was present. Commissioner Raney seconded with Commissioners Wright, Lozano, Jeang, Raney, Sutaria voting for. Motion carried 5-0.

2. **CONSIDERATION AND/OR ANY APPROPRIATE ACTION ON PARKER STORAGE FACILITY DEVELOPMENT PLAT AND PRELIMINARY ENGINEERING PLANS. (EXHIBIT – PARKER STORAGE FACILITY PRELIMINARY PLAT AND PRELIMINARY ENGINEERING PLANS)**

Mr. Flanigan reviewed the item, stating Parker Storage came to P&Z on July 23, 2015. P&Z denied the item, due to incomplete engineering items. The item went to City Council on August 18, 2015 and the item was denied again for the same reason. December 8, 2015, the applicant, Rick Meyer, submitted a revised set of plans, thinking he resolved all the previous issues; however, he did not sign the 30-day waiver. City Staff forwarded the information to our engineers. The engineers gave us letters, dated December 16 and 17, 2015. One letter was a flood study and the other letter was a plat review with some outstanding engineering items. The applicant requested a meeting with our engineers and staff. City Staff tried to setup a meeting a week after Christmas. The applicant was unavailable or declined, due to their Christmas vacation plans. At that point, the City had to move forward to stay within our 30-day wavier timeframe. The City received no revised plans to evaluate or review. The applicant was present if P&Z Commissioners had any questions.

Chair Wright clarified by asking if the Commission, basically, had the same documentation before them as last time without any updates. City Administrator Flanigan asked City Attorney Shepherd to respond. Mr. Shepherd stated the previous application was denied. That application expired. The City received a new application on December 8, 2015, which was similar because it was the same project. All issues related to the first application died, when it was denied. The Commission was now dealing with a new development plat. As the City Administrator indicated earlier, you have two engineering consultants, one for the flood study and the other our regular city engineer with a long list of questions and concerns with the new development plat. He commented he felt the applicant was sincere in wanting to get this process completed and there was communication, regarding revisions that needed to be completed and reviewed by the engineers prior this meeting. Those revisions did not occur, so P&Z had an application, dated December 8, with a list of concerns from the engineers, concerns that if P&Z were to recommend approval would violate the City's Subdivision Regulations, in regard to the development plat.

Chair Wright asked if there were any comments from the applicant. Mr. Rick Meyer came forward and stated he was not prepared to comment; although, he understood the first application was denied and he was given a list of certified reasons for denial that were very extensive. Mr. Meyer stated he did the work and resubmitted/reapplied. He received another long list of concerns with the new application, including some of the same items he responded to on the first application. Mr. Meyer said he and his engineer, James DeOtte, P.E., were present and some of the requests did not make any sense to them, because they had already responded to them. Mr. Meyer said he and his engineer were not sure the City reviewed the responses, because they felt everything was addressed. The reason for the meeting request was to clarify some of the issues.

City Attorney Shepherd asked if he could make a suggestion. The P&Z Commission was not going to allow the 30 days to expire and he did not think the P&Z Commission would try to overrule the city engineer. Mr. Shepherd suggested, Option 1: P&Z would vote to deny the item tonight; or Option 2: The applicant could sign the waiver. P&Z would meet again, which was normally the second and fourth Thursday of each month, to vote on the item, a) once you revise the documents to the extent you understand the concerns, and/or b) setup another meeting with the engineers to clarify the concerns. Mr. Meyers said he understood and agreed to sign the waiver. Mr. Shepherd reiterated once the waiver was signed, P&Z would not have to vote on the item tonight, although whatever questions and/or concerns about the engineers' comments needed to be resolved immediately. The applicant would then need to provide updated documentation, addressing all the concerns at least a week in advance of the next P&Z Meeting, so a proper review could be made before the next meeting packets went out. Mr. Meyer agreed.

MOTION: Commissioner Raney moved to table the Parker Storage Facility Development Plat and Preliminary Engineering Plans. Commissioner Lozano seconded with Commissioners Wright, Lozano, Jeang, Raney, and Sutaria voting for. Motion carried 5-0.

ROUTINE ITEMS

3. FUTURE AGENDA ITEMS

a) Kings Crossing Phase 2 – Final Plat Filing

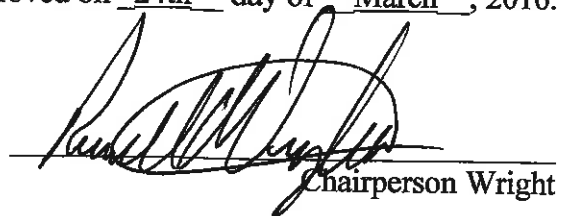
City Attorney Shepherd mentioned the P&Z Commission had not had a training session in quite some time. He asked them to decide when a good time would be. After some discussion, P&Z Commission decided January 28, 2016, 6 p.m. would be a good time.

4. ADJOURN

Chairperson Wright adjourned the meeting at 7:31 p.m.



Minutes Approved on 24th day of March, 2016.


Chairperson Wright

Attest:


Commission Secretary Raney



Prepared by City Secretary **Patti Scott Grey**

Exhibit(s):

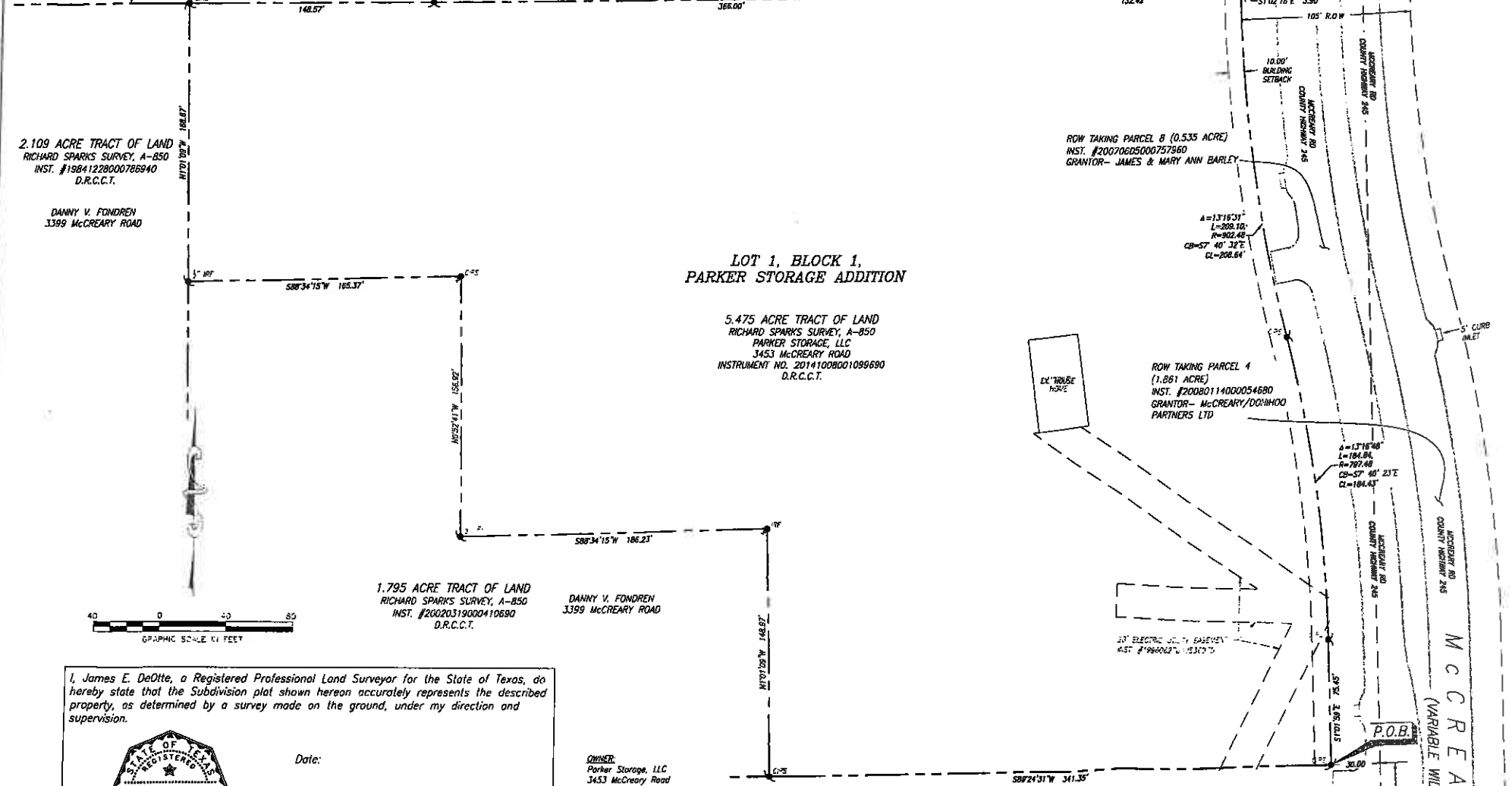
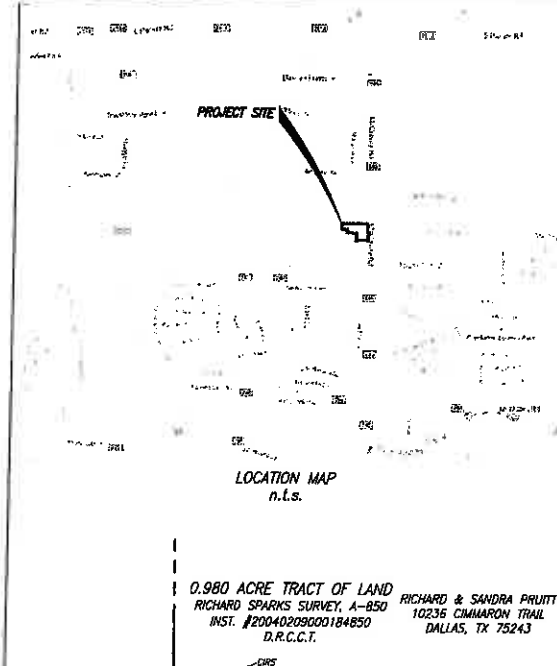
- A - **Parker Storage Facility Preliminary Plat and Preliminary Engineering Plans**

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.
 THIS DOCUMENT WAS PREPARED FOR REVIEW BY VESTED PARTIES.
 SURVEYOR: JAMES E. DEOTTE, RPLS 4673
 DATED: 7-28-2015

Construction Prohibited over Easements
 No permanent buildings or structures shall be constructed over any existing or platted water, sanitary sewer, drainage, gas, electric, cable or other utility easement of any type.

Utility Easements
 Any public utility, shall have the right to move and keep moved all or part of any building, fence, tree, shrub, other growth or improvement which in any way endangers or interferes with the construction, maintenance, or efficiency of its respective systems on any of the easements shown on the plat; and they shall have the right at all times to ingress and egress upon said easements for the purpose of construction, reconstruction, inspection, patrolling, maintaining, and adding to or removing all or part of its respective systems without the necessity at any time of procuring the permission of anyone.

LEGEND
 BM BENCHMARK
 CIRF CAPPED IRON ROD FOUND
 CIRP CAPPED IRON ROD SET
 IRF IRON ROD FOUND
 RPF IRON PIPE FOUND
 X-CUT 5" CUT ON CONCRETE
 (CM) CONTROLLING MONUMENT
 D.R.C.C.T. DEED RECORDS, DALLAS COUNTY, TEXAS
 P.R.D.C.T. PLAT RECORDS, DALLAS COUNTY, TEXAS
 INST# INSTRUMENT NUMBER
 VOL# VOLUME
 PG# PAGE
 NO# NUMBER
 R.O.W. RIGHT-OF-WAY
 ESMT. EASEMENT
 P.O.B. POINT OF BEGINNING
 NTS NOT TO SCALE

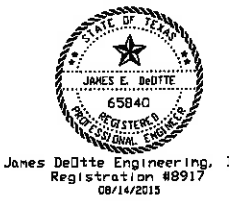


I, James E. DeOtte, a Registered Professional Land Surveyor for the State of Texas, do hereby state that the Subdivision plat shown hereon accurately represents the described property, as determined by a survey made on the ground, under my direction and supervision.

Date: _____
 James E. DeOtte
 Registered Professional Land Surveyor
 Texas Registration No. 4673

OWNER:
 Parker Storage, LLC
 3453 McCreary Road
 Parker, TX

SURVEYOR:
 James DeOtte Engineering, Inc.
 2201 Delta Lynn Place
 Suite 119
 Fort Worth, Texas 76120
 Ph: 817-446-6877
 Fax: 817-930-0445



2.013 ACRE TRACT OF LAND
 RICHARD SPARKS SURVEY, A-850
 INST. #2010123001284170
 D.R.C.C.T.
 CHAN CHUAN & KUET CHOI LO
 3415 McCREARY ROAD

1.795 ACRE TRACT OF LAND
 RICHARD SPARKS SURVEY, A-850
 INST. #20020319000410690
 D.R.C.C.T.
 DANNY V. FONDREN
 3399 McCREARY ROAD

DEVELOPMENT PLAT
LOT 1, BLOCK 1,
PARKER STORAGE ADDITION
3453 McCREARY ROAD
RICHARD SPARKS SURVEY, A-850
 City of Parker, Collin County, Texas, as
 recorded in Instrument No.
 #2014008001099690 D.R.C.C.T.
 5.475 acres of land
 DECEMBER, 2015

OWNERS
PARKER STORAGE, LLC
 14673 Midway Rd. #106
 Addison, Texas 75001

PLANO INDEPENDENT SCHOOL DISTRICT
 2700 W. 15TH ST. ~ PLANO, TEXAS 75075

James DeOtte Engineering, Inc.
 Civil Engineering
 Land Surveying
 Construction Management
 Hydrologic and Hydraulic Modeling

Phone: 817-446-6877
 Fax: 817-930-0445

Texas Reg. No. 10101480 - TPE Reg. No. 8917
 2201 Delta Lynn Parkway, Ste. 119 • Fort Worth, TX 76120
 www.jamesdeotte.com

DOCUMENT NO. _____ DATE _____

CASE NO. XX-XXX-XXX

Being a 5.475 acre tract of land situated in the Richard Sparks Survey, Abstract No. 850, in Collin County, Texas and being a portion of a tract of land as described by deed to James and Mary Ann Barley in Instrument No. 1999102001262070, Deed Records of Collin County, Texas (DRCC) and more particularly described as follows:

BEGINNING at a 5/8" capped iron rod set (DeOtte) being in the west right of way line of McCreary Road (County Highway 245) and being the northeast corner of a 2.013 acre tract of land to Chan Chuan and Kuet Choi Lo and described in Instrument No. 20101123001284170, DRCC and also being the Southeast Corner of the remaining portion of the aforementioned tract of land;

Thence South 89d24'31" West, along the Barley-Chuan/Lo (2.013 acre tract) common line, a distance of 341.35 feet to a 5/8" capped iron rod set (DeOtte) in the common line of the Barley tract and a tract of land deeded to Danny V. Fondren as described in Instrument No. 20020319000410690, DRCC;

Thence departing the Barley-Chuan/Lo (2.013 acre tract) common line, North 1d01'09" West along the Barley-Fondren (1.795 acre tract) common line, a distance of 148.97 feet to a 5/8" iron rod found;

Thence continuing along the Barley-Fondren (1.795 acre tract) common line, South 88d34'15" West, a distance of 186.23 feet to a 1/2" iron rod found;

Thence continuing along the Barley-Fondren (1.795 acre tract) common line, North 0d52'41" West, a distance of 156.92 feet 5/8" capped iron rod set (DeOtte);

Thence continuing along the Barley-Fondren (1.795 acre tract) common line, South 88d34'15" West, a distance of 165.37 feet to a 1/2" iron rod found, said iron being in the east line of a 2.109 acre tract of land dedicated to Danny V. Fondren in Instrument No. 19841228000766940 Deed Records, Collin County, Texas;

Thence departing the Barley-Fondren (1.795 acre tract) common line, North 1d01'09" West along the Barley-Fondren (2.109 acre tract) common line, a distance of 166.67 feet to a 5/8" capped iron rod set (DeOtte) in the south line of a 0.980 acre tract of land dedicated to Richard and Sarah Pruitt and described in Instrument No. 20040209000184850, DRCC;

Thence departing the Barley-Fondren (2.109 acre tract), North 89d24'31" East along the Barley-Pruitt (0.980 acre tract) common line, a distance of 148.57 feet to a 1/2" iron rod found, said rod being the southwest corner of a 1.970 acre tract of land deeded to Kenneth W. Welch and described in Instrument No. 19890527000492320 DRCC;

Thence departing the Barley-Pruitt (0.980 acre tract) common line, North 89d24'31" East along the Barley-Welch (1.970 acre tract) common line, a distance of 366.00 feet to a 5/8" capped iron rod set (DeOtte) also being the Southwest corner of a 0.985 acre tract of land deeded to Kenneth W. Welch and described in Instrument No. 19780227000051180 DRCC;

Thence departing the Barley-Welch (1.970 acre tract) common line, North 89d24'31" East along the Barley-Welch (0.985 acre tract) common line, a distance of 132.42 feet to a capped iron (DeOtte) set in the west right of way line of McCreary Road (County Highway 245) as described in Instrument No. 20070605000757960, DRCC, the following courses and distances:

South 1d02'18" East, a distance of 3.90 feet to 5/8" capped iron rod set (DeOtte) also being the beginning of a tangent curve to the left having a radius of 902.48 feet and an interior angle of 13d16'31";

Along said curve, a distance of 209.10 feet to a capped iron (DeOtte) set for the beginning of a tangent curve to the right having a radius of 797.48 feet and an interior angle of 13d16'48"; along said curve a distance of 184.84 feet to a capped iron (DeOtte) set;

South 1d01'59" East a distance of 75.45 feet to the Point of Beginning and containing 5.475 acres of land more or less.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, PARKER STORAGE, LLC, do hereby adopt this plat designating the hereinabove described property as 5453 McCreary Road, in the City of Parker, Collin County, Texas.

WITNESS, my hand, this the ____ day of _____, 2015.

By

Rick Meyer, President
Parker Storage, LLC

STATE OF _____
COUNTY OF _____

BEFORE ME, the undersigned authority, a Notary Public in and for county and state, on this day personally appeared Rick Meyer, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this ____ day of _____, 2015

NOTARY PUBLIC in and for the STATE OF _____

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, on this day personally appeared Rick Meyer of PARKER STORAGE, LLC, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of the said PARKER STORAGE, LLC, and that he executed the same as the act of such limited corporation for the purpose and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2015

NOTARY PUBLIC in and for the STATE OF TEXAS

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, on this day personally appeared Richard Malin, of PLANO INDEPENDENT SCHOOL DISTRICT, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of the said PLANO INDEPENDENT SCHOOL DISTRICT, and that he executed the same as the act of PLANO INDEPENDENT SCHOOL DISTRICT for the purpose and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2015

NOTARY PUBLIC in and for the STATE OF TEXAS



THIS DOCUMENT IS FOR INTERNAL REVIEW AND IS NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES
JAMES DEOTTE ENGINEERING, INC.
REGISTRATION #8917
EIT: James E. DeOtte
Reg. No.: 5584C
Date: 12/03/2015

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.
THIS DOCUMENT WAS PREPARED FOR REVIEW BY VESTED PARTIES.
SURVEYOR: JAMES. E. DEOTTE, RPLS 4673
DATED: 12-03-2015

I, James E. DeOtte, a Registered Professional Land Surveyor for the State of Texas, do hereby state that the Subdivision plat shown hereon accurately represents the described property, as determined by a survey made on the ground, under my direction and supervision.



Date:

James E. DeOtte
Registered Professional Land Surveyor
Texas Registration No. 4673

STATE OF TEXAS
COUNTY OF COLLIN

I, James E. DeOtte, Registered Professional Land Surveyor for DeOtte Engineering, Inc., do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made in JULY 2015, under my direction and supervision, and further certify that all corners are as shown thereon, and that said plat has been prepared in accordance with the plotting rules and regulations of the City of Parker, Texas. No interior lot corners were staked at the time of this filing:

Given under my hand and seal of office this ____ day of _____, 2015

James E. DeOtte
Registered Professional Land Surveyor
Texas Registration No. 4673

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, on this day personally appeared JAMES E. DEOTTE, whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of the said JAMES DEOTTE ENGINEERING INC., a Texas Corporation, and that he executed the same as the act of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2015

NOTARY PUBLIC in and for the STATE OF TEXAS

RECOMMENDED FOR APPROVAL

Chairman, Planning and Zoning Commission
City of Parker, Texas

Date

APPROVED AND ACCEPTED

Mayor, City of Parker, Texas

Date

The undersigned, the City Secretary of the City of Parker, hereby certifies that the foregoing FINAL map or plat of PARKER STORAGE ADDITION, LOT 1, BLOCK 1, an Addition to the City of Parker was submitted to the City Council on this ____ day of _____, 2015, and the City Council by formal action then and there accepted the dedication of streets, alleys, easements, and public places, as shown and set forth in and upon said map or plat, and said City Council further authorized the Mayor to note the approval thereof by signing his name herein above subscribed.

WITNESS, my hand, this the ____ day of _____, 2015.

By

Rick Meyer, President

DEVELOPMENT PLAT
LOT 1, BLOCK 1,
PARKER STORAGE ADDITION
3453 McCREARY ROAD
RICHARD SPARKS SURVEY, A-850
City of Parker, Collin County, Texas, as
recorded in Instrument No.
#2014008001099690 D.R.C.C.T.
5.475 acres of land
DECEMBER, 2015
OWNERS
PARKER STORAGE, LLC
14673 Midway Pl. #106
Addison, Texas 75001

PLANO INDEPENDENT SCHOOL DISTRICT
2700 W. 15TH ST. ~ PLANO, TEXAS 75075



James DeOtte
Engineering Inc.

PHONE 817.444.8277
FAX 817.930.0415

2201 Dottie Lynn Parkway, Suite 100 • Fort Worth, TX 76120

Civil Engineering
Land Surveying
Construction Management
Hydrologic and Hydraulic Modeling

DOCUMENT NO. _____

DATE _____

CASE NO. XX-XXX-XXX

1.970 ACRE TRACT OF LAND
RICHARD SPARKS SURVEY, A-850
INST. #18890827000492320
D.R.C.C.T.

KENNETH W. WELCH
3501 MCCREARY ROAD

0.985 ACRE TRACT OF LAND
RICHARD SPARKS SURVEY, A-850
INST. #18780227000051180
D.R.C.C.T.

KENNETH W. WELCH
3501 MCCREARY ROAD

Q = 180 cfs
(from construction plans for
McCreary Road provided by
the City of Parker)

ROW TAKING PARCEL B (0.535 ACRE)
INST. #20070609000757960
GRANTOR- JAMES & MARY ANN BARLEY

ROW TAKING PARCEL 4
(1.861 ACRE)
INST. #2008011400054680
GRANTOR- MCCREARY/DONNHOOD
PARTNERS LTD

Limits of inundation
for 100-year flows

Limits of inundation for
100-year flows with 0.5' rise

THIS DOCUMENT IS FOR INTERIM REVIEW
AND IS NOT INTENDED FOR CONSTRUCTION
OR BIDDING PURPOSES.
JAMES DEOTTE ENGINEERING, INC
REGISTRATION #8917
BY: James E. DeOtte
Rep. No.: E5840
Date: 12/03/2015

ENGINEER / SURVEYOR:
James DeOtte Engineering, Inc.
CIVIL ENGINEERING • LAND SURVEYING • CONSTRUCTION MANAGEMENT
6707 Brenwood Star Road
Suite 200
Fort Worth, Texas 76112
(817) 448-2877
Firm Registration No. 8917
Contact: Jm. DeOtte

ARCHITECT:

DATE: _____ ISSUE: _____

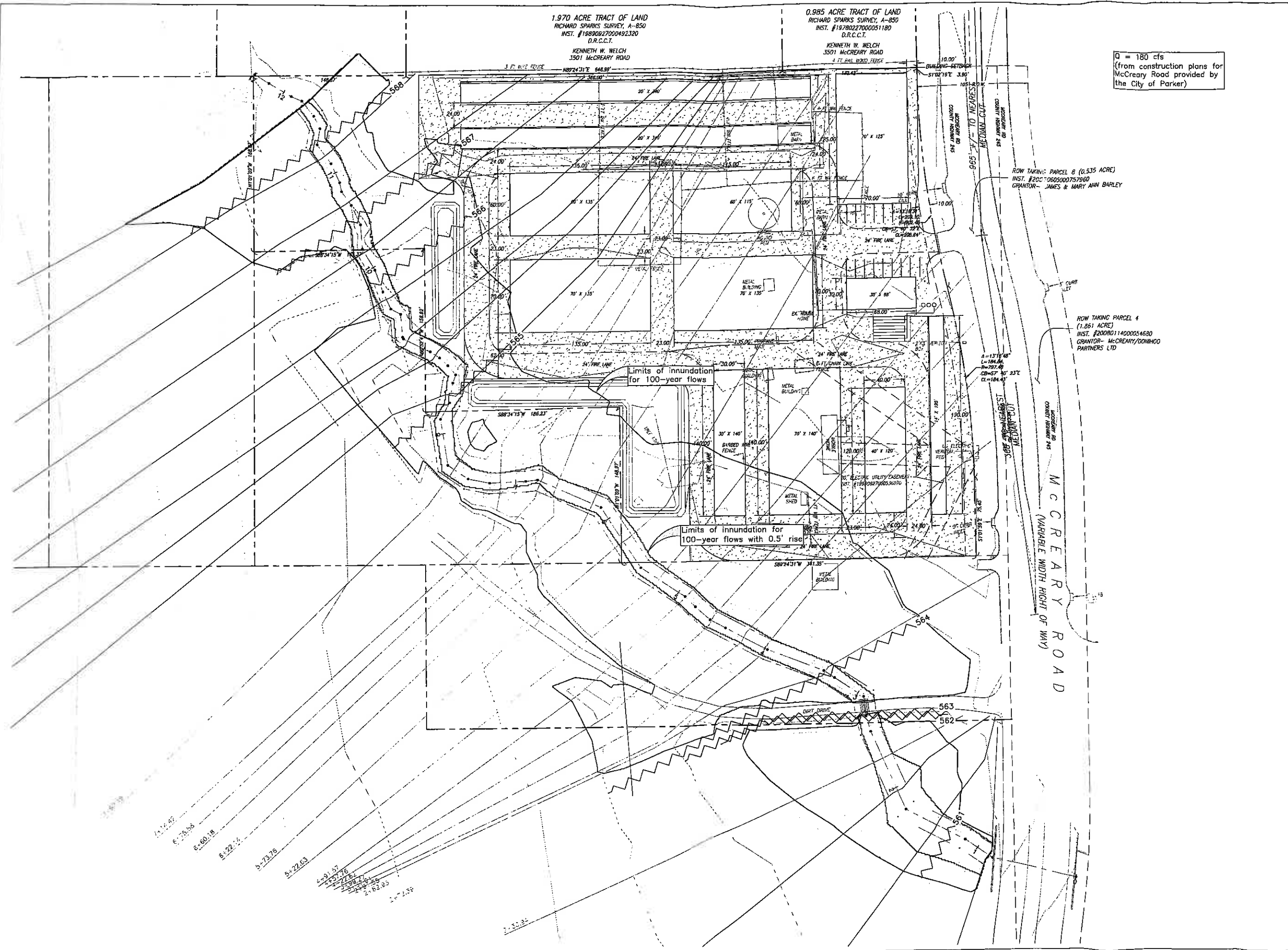
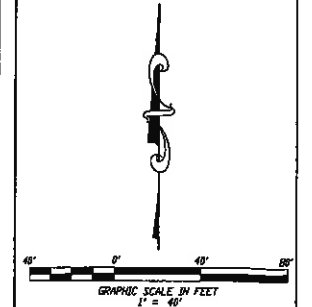
PROJECT NAME:
**STORAGE FACILITY
COLLIN COUNTY,
TEXAS**

SHEET NAME:
**100-Year
Floodplain Map**

PROJECT LOCATION & SIZE:
**3453 McCreary Road
Collin County, TX**

CURRENT OWNER:

DESIGN: RJS
CHECKED: JED
SCALE: AS SHOWN
DATE: 12/03/2015
JOB/PROJECT NO: 214029
SHEET: 10



TRACT OF LAND
RICHARD & SARAH PRUITT
10236 CIMMARON TRAIL
DALLAS, TX 75243

1.970 ACRE TRACT OF LAND
RICHARD SPARKS SURVEY, A-850
INST. #19890927000492320
D.R.C.C.T.

KENNETH W. WELCH
3501 McCREARY ROAD

0.985 ACRE TRACT OF LAND
RICHARD SPARKS SURVEY, A-850
INST. #19780227000051180
D.R.C.C.T.

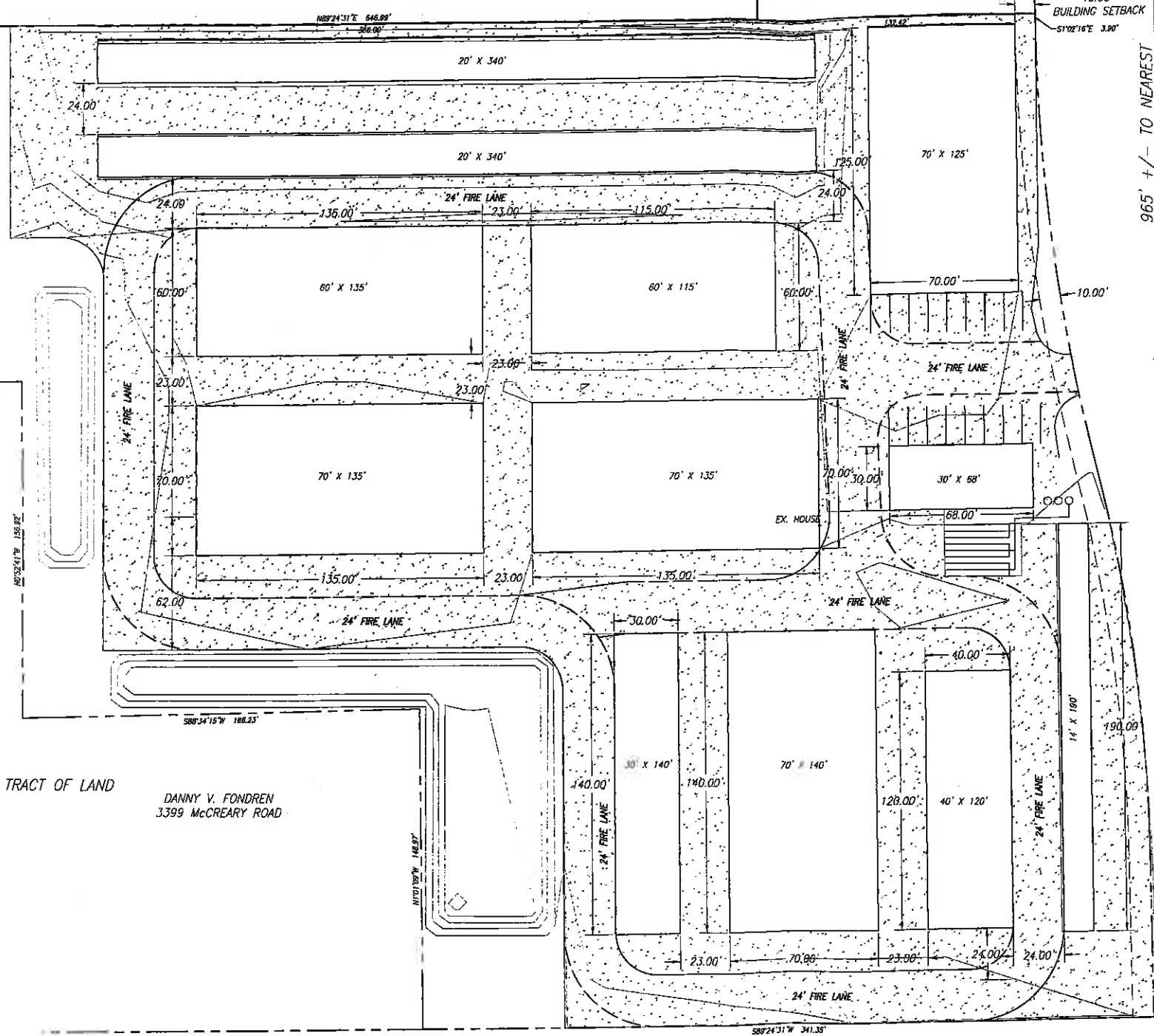
KENNETH W. WELCH
3501 McCREARY ROAD

1.795 ACRE TRACT OF LAND

DANNY V. FONDREN
3399 McCREARY ROAD

2.013 ACRE TRACT OF LAND

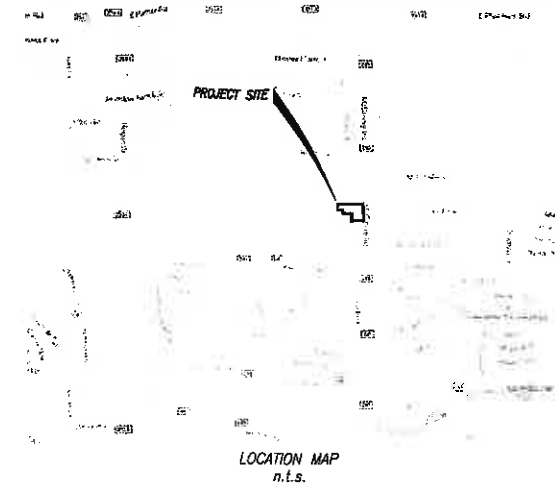
CHIAN CHUAN & KUET CHOI LO
3415 McCREARY ROAD



MCCREARY ROAD
(VARIABLE WIDTH RIGHT OF WAY)

368' TO NEAREST
MEDIAN CUT

965' +/- TO NEAREST
MEDIAN CUT



THIS DOCUMENT IS FOR INTERIM REVIEW
AND IS NOT INTENDED FOR CONSTRUCTION
OR BIDDING PURPOSES.
JAMES DEOTTE ENGINEERING, INC.
REGISTRATION #8917
BY: JAMES E. DEOTTE
Reg. No.: 65840
Date: 12/03/2015

ENGINEER / SURVEYOR:
James DeOtte Engineering, Inc.
CIVIL ENGINEERING • LAND SURVEYING • CONSTRUCTION MANAGEMENT
6707 Brentwood Stair Road
Suite 259
Fort Worth, Texas 76112
(817)446-6677
Firm Registration No. 8817
Contact: Jim DeOtte

ARCHITECT:

DATE: _____ ISSUE: _____

PROJECT NAME:
**STORAGE FACILITY
COLLIN COUNTY,
TEXAS**

SHEET NAME:
SITE PLAN

PROJECT LOCATION & SIZE:
**3453 McCreary Road
Collin County, TX**

CURRENT OWNER:

DESIGN: PJS
CHECKED: JED
SCALE: AS SHOWN
DATE: 12/03/2015
JOB/PROJECT NO: 2014029
SHEET: **C-100**

1.970 ACRE TRACT OF LAND
 RICHARD SPARKS SURVEY, A-850
 INST. #19890927000492320
 D.R.C.C.T.

KENNETH W. WELCH
 3501 McCREARY ROAD

0.985 ACRE TRACT OF LAND
 RICHARD SPARKS SURVEY, A-850
 INST. #19780227000051180
 D.R.C.C.T.

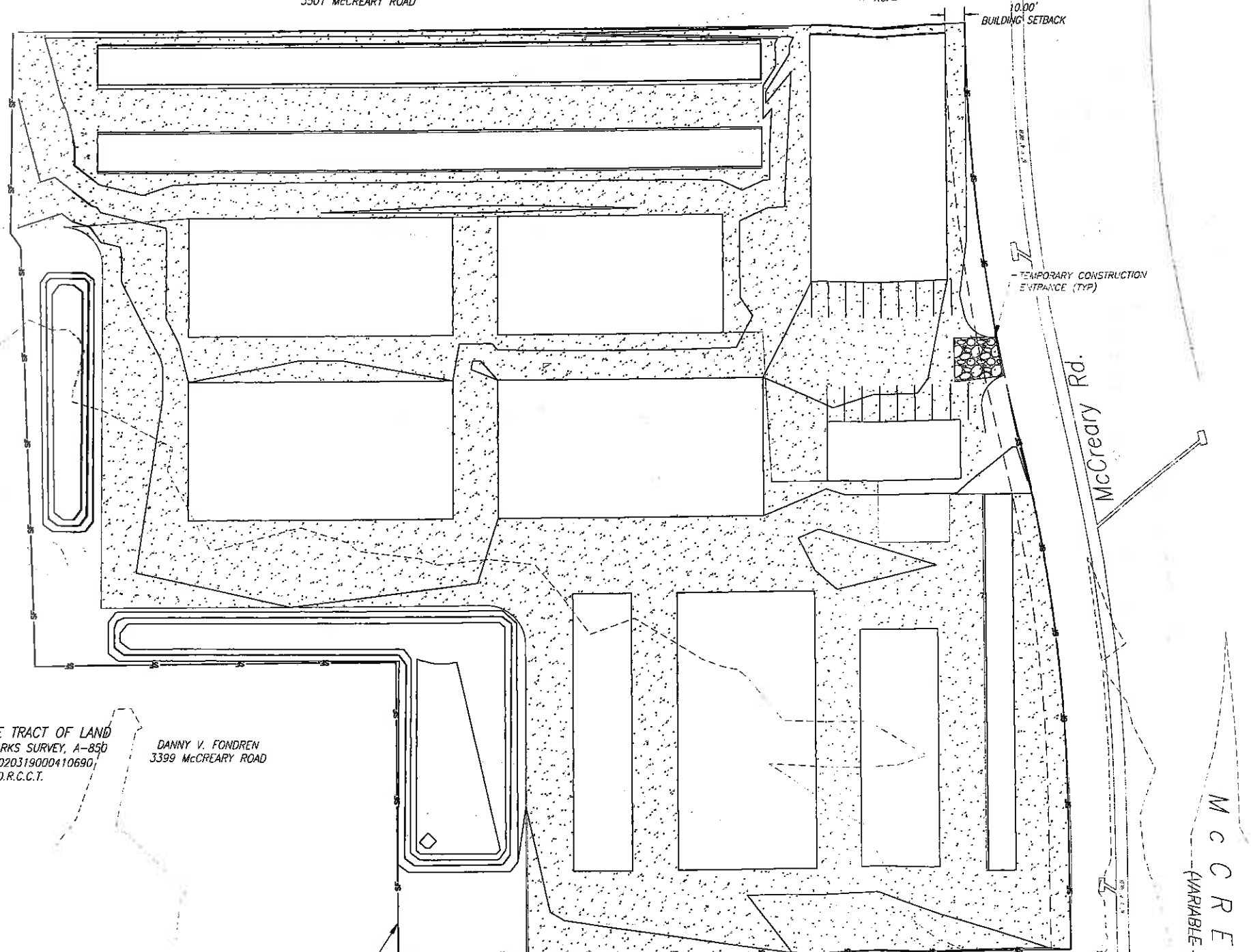
KENNETH W. WELCH
 3501 McCREARY ROAD

1.795 ACRE TRACT OF LAND
 RICHARD SPARKS SURVEY, A-850
 INST. #20020319000410690
 D.R.C.C.T.

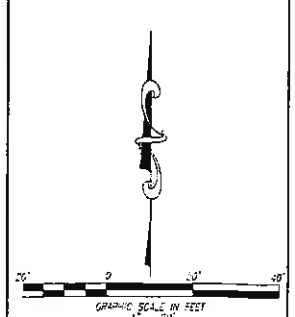
DANNY V. FONDREN
 3399 McCREARY ROAD

2.013 ACRE TRACT OF LAND
 RICHARD SPARKS SURVEY, A-850
 INST. #20101123001284170
 D.R.C.C.T.

CHIAN CHUAN & KUET CHOI LO
 3415 McCREARY ROAD



- NOTES**
1. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES PRIOR TO STARTING CONSTRUCTION OR DEMOLITION.
 2. SEE GEOTECHNICAL REPORT FOR GRADING AND EARTHWORK CONSTRUCTION SPECIFICATIONS.
 3. ALL PROPOSED SPOT GRADES ARE TO THE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 4. ALL EROSION CONTROL BMP'S WILL BE INSTALLED PRIOR TO ANY GRADING ACTIVITIES.
 5. CARE WILL BE TAKEN BY THE CONTRACTOR TO KEEP THE EXISTING FIRE LANE CLEAR OF DIRT AND DEBRIS. ANY DIRT AND DEBRIS THAT MIGRATES ONTO THE DRIVE SHALL BE CLEANED DAILY.
 6. EXISTING GROUND WILL BE STRIPPED OF THE TOP SOIL AND STOCKPILED ON-SITE UNTIL FINAL GRADING IS COMPLETED. STOCKPILED TOP SOILS WILL BE SPREAD OVER PROPOSED VEGETATION AREAS BEFORE ESTABLISHING PERMANENT GROUND COVER.
 7. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY.
 8. SEE MCDOT (89) TECHNICAL MANUAL, CONSTRUCTION CONTROL FOR DETAILS ON EROSION CONTROL DEVICES.



THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.
 JAMES DEOTTE ENGINEERING, INC.
 REGISTRATION #85217
 BY: James E. DeOtte
 Reg. No.: 85540
 Date: 12/03/2015

ENGINEER / SURVEYOR:
James DeOtte Engineering, Inc.
 CIVIL ENGINEERING • LAND SURVEYING • CONSTRUCTION MANAGEMENT
 5707 Brentwood Star Road
 Suite 200
 Fort Worth, Texas 76112
 (817)446-6877
 Firm Registration No. 8917
 Contact: Jim DeOtte

ARCHITECT:

DATE	ISSUE

PROJECT NAME:
STORAGE FACILITY
 COLLIN COUNTY,
 TEXAS

SHEET NAME:
EROSION CONTROL
 PLAN

PROJECT LOCATION & SIZE:
 3453 McCreary Road
 Collin County, TX

CURRENT OWNER:

DESIGN: RJS

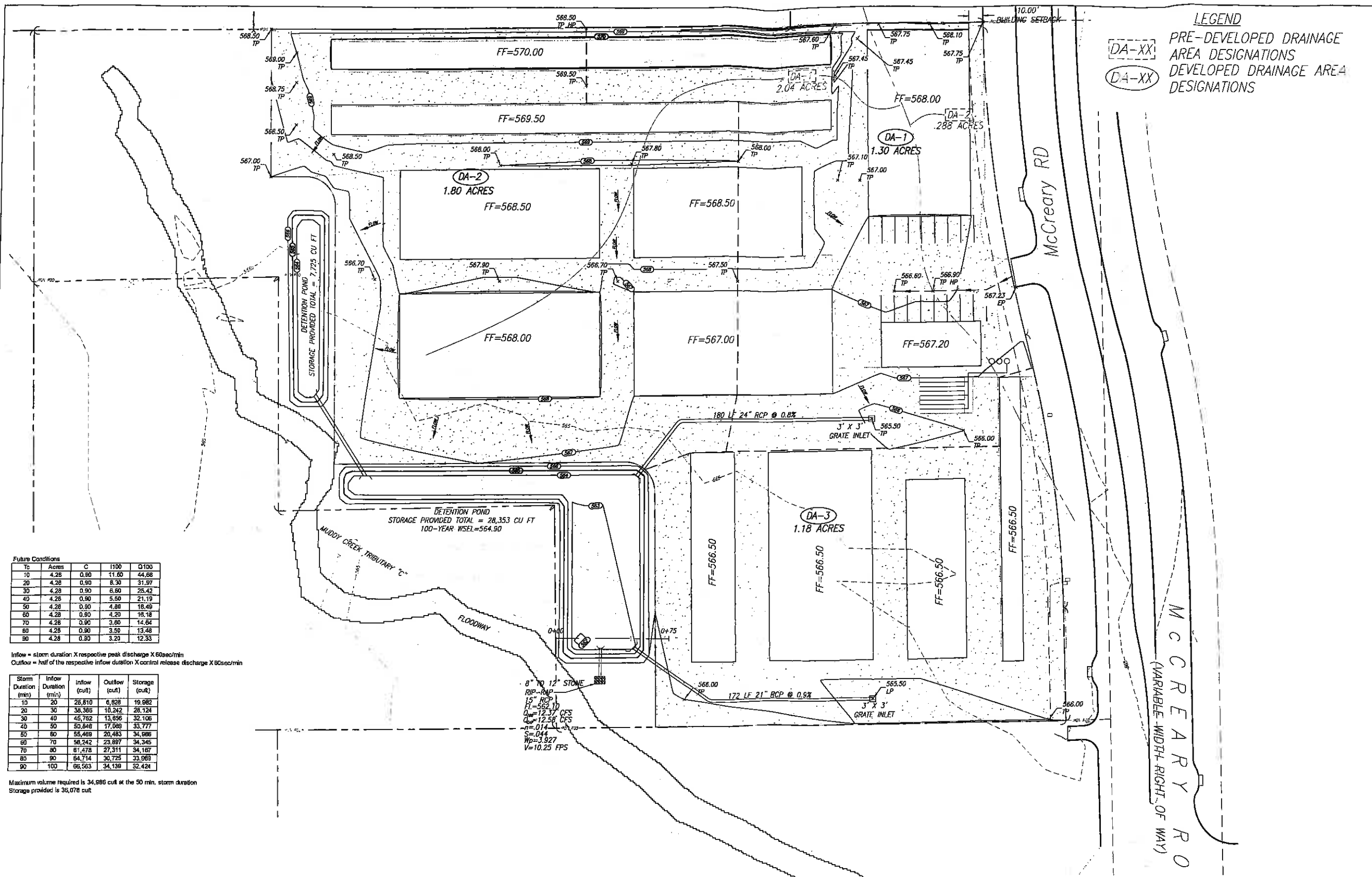
CHECKED: JED

SCALE: AS SHOWN

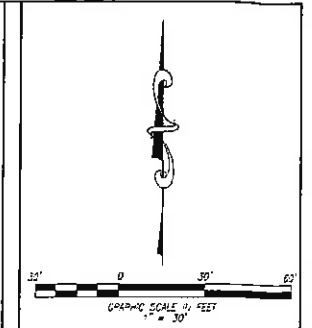
DATE: 12/03/2015

JDEI PROJECT NO: 2014-029

SHEET:
E-103



LEGEND
 (DA-XX) PRE-DEVELOPED DRAINAGE AREA DESIGNATIONS
 (DA-XX) DEVELOPED DRAINAGE AREA DESIGNATIONS



THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.
 JAMES DOTTE ENGINEERING, INC.
 REGISTRATION #3917
 BY: James E. DeOtte
 Res. No.: 63840
 Date: 12/03/2015

ENGINEER / SURVEYOR:
James DeOtte Engineering, Inc.
 CIVIL ENGINEERING • LAND SURVEYING • CONSTRUCTION MANAGEMENT
 6707 Brentwood Stair Road
 Suite 200
 Fort Worth, Texas 76112
 (817)446-6877
 Firm Registration No. 8917
 Contact: Jim DeOtte

ARCHITECT:

DATE: _____ ISSUE: _____

PROJECT NAME:
STORAGE FACILITY
 COLLIN COUNTY,
 TEXAS

SHEET NAME:
**PRELIMINARY GRADING
 AND DRAINAGE PLAN**

PROJECT LOCATION & SIZE:
3-53 McCreary Road
 Collin County, TX

CURRENT OWNER:

DESIGN: PJS

CHECKED: JED

SCALE: AS SHOWN

DATE: 12/03/2015

JOE PROJECT NO: 2014029

SHEET:
D-101

Future Conditions

Tc	Acres	C	I100	Q100
10	4.28	0.80	11.60	44.68
20	4.28	0.90	8.30	31.97
30	4.28	0.90	6.60	25.42
40	4.28	0.90	5.50	21.19
50	4.28	0.90	4.88	18.48
60	4.28	0.90	4.20	16.18
70	4.28	0.90	3.60	14.64
80	4.28	0.90	3.50	13.48
90	4.28	0.90	3.20	12.33

Inflow = storm duration X respective peak discharge X 60sec/min
 Outflow = half of the respective inflow duration X control release discharge X 60sec/min

Storm Duration (min)	Inflow Duration (min)	Inflow (cuft)	Outflow (cuft)	Storage (cuft)
10	20	26,610	6,628	19,982
20	30	38,365	10,242	28,124
30	40	45,752	13,656	32,106
40	50	50,848	17,069	33,777
50	60	55,469	20,483	34,986
60	70	58,242	23,897	34,345
70	80	61,478	27,311	34,167
80	90	64,714	30,725	33,989
90	100	66,563	34,139	32,424

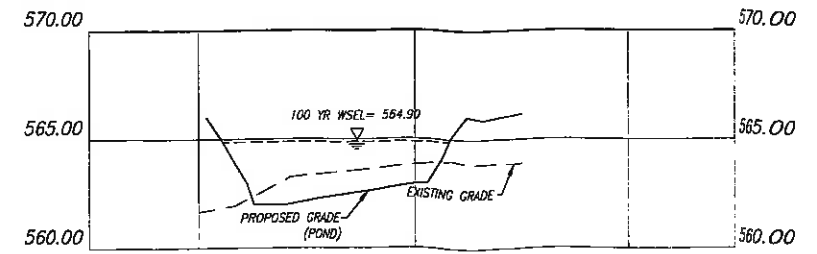
Maximum volume required is 34,986 cuft at the 50 min. storm duration
 Storage provided is 36,078 cuft

Proposed Drainage Calculations

AREA (ac)	Tc (min)	C	I2 (in/hr)	Q2 (cfs)	I5 (in/hr)	Q5 (cfs)	I10 (in/hr)	Q10 (cfs)	I100 (in/hr)	Q100 (cfs)	Comments
1	1.80	10	0.9	5.46	6.39	6.78	7.93	8.06	9.43	11.55	Pavement/Buildings
2	1.80	10	0.9	5.46	8.85	6.78	10.98	8.06	13.06	11.55	Pavement/Buildings
3	1.18	10	0.9	5.46	5.80	6.78	7.20	8.06	8.56	11.55	Pavement/Buildings
SUBTOTAL	4.78			21.03		26.12		31.05		44.49	

Existing Drainage Calculations

AREA (ac)	Tc (min)	C	I2 (in/hr)	Q2 (cfs)	I10 (in/hr)	Q10 (cfs)	I100 (in/hr)	Q100 (cfs)	Comments	
1	2.04	10	0.3	5.46	3.34	8.06	4.93	11.55	7.07	Grass
2	0.29	10	0.3	5.46	0.47	8.06	0.70	11.55	1.00	Grass
3	1.24	10	0.3	5.46	2.04	8.06	3.00	11.55	4.30	Grass

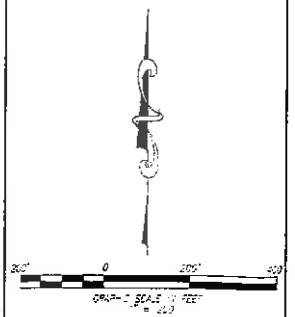


Drainage Area	Area (ac.)	C	I(2)	I(5)	I(10)	I(25)	I(100)	Q(2)	Q(5)	Q(10)	Q(25)	Q(100)	Description
DA-1	235.57	0.30	3.20	4.00	4.80	5.50	6.80	226.15	282.68	339.22	388.69	480.56	Sheet flow to rear of lot
TOTALS													
Pre-Development Runoff Flows													
339.22 388.69 480.56													

Coef. (C)	2-year	5-year	10-year	25-year	50-year	100-year
0.780	0.781	0.778	0.779	0.776	0.764	
54	67	79	92	102	106	
8.2	8.8	8.8	8.8	8.8	8.2	
Intensity (in/hr)	3.2	4.0	4.8	5.5	6.2	

Note: Time of concentration is 28.34 minutes.

NOTE: SEE CITY PLANS DATED
11-07-08/09-09-09 McCREARY ROAD,
Q₁₀₀ @HW-1A = 152.8 CFS



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OR BIDDING PURPOSES
JAMES DEOTTE ENGINEERING, INC.
REGISTRATION #5917
By: James E. DeOtte
Reg. No: 65540
Date: 12/03/2015

ENGINEER / SUPERVISOR
James DeOtte Engineering, Inc.
CIVIL ENGINEERING • LAND SURVEYING • CONSTRUCTION MANAGEMENT
6707 Brentwood Blair Road
Suite 100
Fort Worth, Texas 76112
(817) 442-1877
Firm Registration No. 5917
Contact: Jim DeOtte

ARCHITECT:

DATE: _____ ISSUE: _____

PROJECT NAME:
STORAGE FACILITY
COLLIN COUNTY,
TEXAS

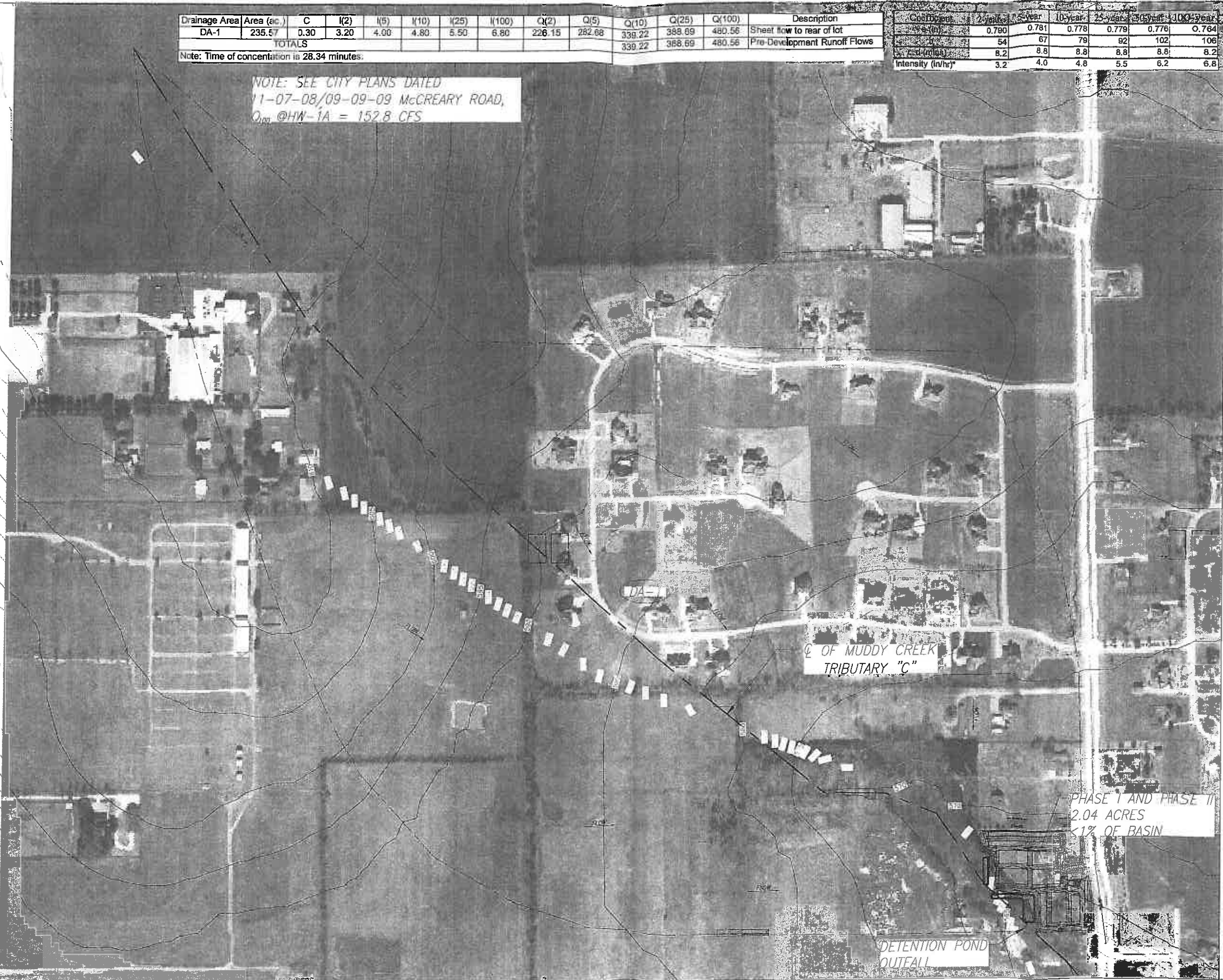
SHEET NAME:
REGIONAL DR. NAME
AREA 149

PROJECT LOCATION & ELEV.
3455 McCreary Road
Collin County, TX

CURRENT CHIEF:

DESIGN: PLS
CHECKED: JED
SCALE: AS SHOWN
DATE: 12/03/2015
JDE PROJECT NO: 2014029
SHEET:

D-100



Q OF MUDDY CREEK
TRIBUTARY "C"

PHASE I AND PHASE II
2.04 ACRES
<1% OF BASIN

RETENTION POND
OUTFALL

1.970 ACRE TRACT OF LAND
 RICHARD SPARKS SURVEY, A-850
 INST. #19890927000492320
 D.R.C.C.T.

KENNETH W. WELCH
 3501 McCREARY ROAD

0.985 ACRE TRACT OF LAND
 RICHARD SPARKS SURVEY, A-850
 INST. #19780227000051180
 D.R.C.C.T.

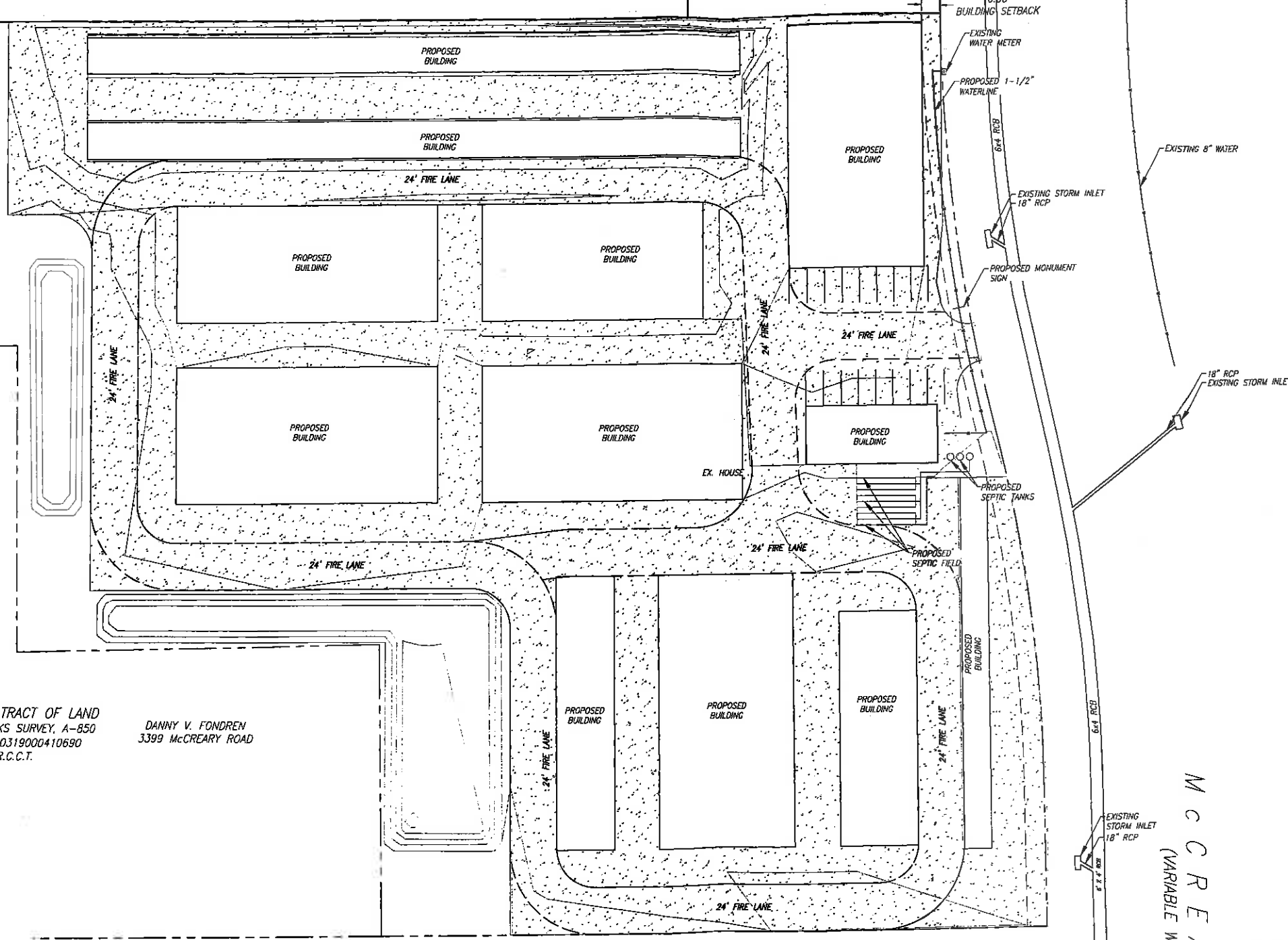
KENNETH W. WELCH
 3501 McCREARY ROAD

1.795 ACRE TRACT OF LAND
 RICHARD SPARKS SURVEY, A-850
 INST. #20020319000410690
 D.R.C.C.T.

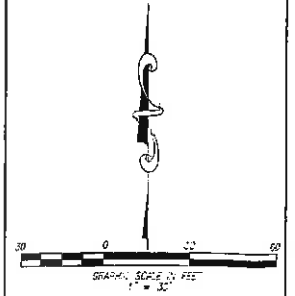
DANNY V. FONDREN
 3399 McCREARY ROAD

2.013 ACRE TRACT OF LAND
 RICHARD SPARKS SURVEY, A-850
 INST. #20101123001284170
 D.R.C.C.T.

CHIAN CHUAN & KUET CHOI LO
 3415 McCREARY ROAD



McCREARY ROAD
 (VARIABLE WIDTH RIGHT OF WAY)



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 OR BIDDING PURPOSES.
 JAMES DEOTTE ENGINEERING, P.C.
 REGISTRATION #8917
 BY: James E. DeOtte
 Reg. No.: 65840
 Date: 12/03/2015

ENGINEER / SURVEYOR:
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 CIL ENGINEER • LAND SURVEYOR • CONSTRUCTION MANAGEMENT
 8707 Brentwood Station Place
 Suite 200
 Fort Worth, Texas 76112
 (817)448-0877
 Fire Registration No. 9577
 Contact: Jim DeOtte

ARCHITECT:
 DATE: _____ ISSUE: _____

PROJECT NAME:
STORAGE FACILITY
 COLLIN COUNTY,
 TEXAS

SHEET NAME:
UTILITY PLAN

PROJECT LOCATION & SIZE:
 3453 McCreary, Road
 Collin County, TX

CURRENT OWNER:

DESIGN: RJS

CHECKED: JED

SCALE: AS SHOWN

DATE: 12/03/2015

JDEI PROJECT NO: 2014029

SHEET:
U-100